

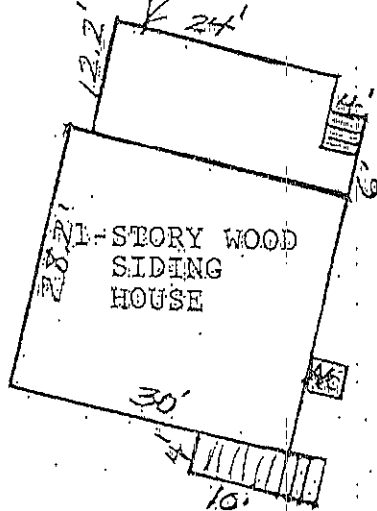
LAKE DULIP

STATE OF TEXAS COUNTY OF GUADALUPE  
Survey for: Thomas Spencer/  
James & Elsa Racanelli

N 58° 07' 15" E 60.08'  
3/8 Inch rebar set  
CONC. RETAINING WALL

1/2 Inche rebar found

WOOD. DECK



Scale: 1" = 20'

CALLED 0.343 AC. ROBERT WIGGINS Vol. 1046 Pg. 150

N 44° 59' W

219.95'

S 41° 02' E

211.45'

CALLLED 0.564 AC.  
GINN WINSON Vol. 1252 Pg. 779

0.256 A.C.

SARA DEWITT SUR. 48  
A-103

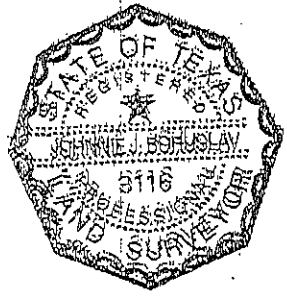
THOMAS SPENCER, ET UX  
Vol. 1548 Pg. 375

PLAT OF A 0.256 acre tract in the Sara Dewitt Survey No. 48, Abstract No. 103, and known as 1315 E. Zipp Road.

This property is in Zone A as shown on F.I.R.M. Community Panel No. 480266.0050 B, dated 3-1-79.

P.O.B.

N 315 E. ZIPP ROAD  
S 51° 08' W 44.93'  
1/2 inch rebar fd. REF. BEARING  
WATER METERS  
3/8 inch rebar found



The undersigned does hereby certify that this survey was made on the ground this date under my supervision, that there are no visible encroachments, and that any visible or apparent easements are shown on attached plat, and that all corners are marked as shown.

Johnnie J. Bohuslav  
129 Maderas  
Seguin, TX 78155

Date: 5-28-02  
830-560-1659

# ELEVATION CERTIFICATE

## FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No 3067-007  
Expires May 31, 199.

**ATTENTION:** Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

### SECTION A PROPERTY INFORMATION

BUILDING OWNER'S NAME James Raçanelli	FOR INSURANCE COMPANY USE
	POLICY NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER 1315 E. Zipp Road New Braunfels, TX	COMPANY NAIC NUMBER
OTHER DESCRIPTION (Lot and Block Numbers, etc.) Sara Dewitt Survey 48, A-103	
CITY New Braunfels	STATE TX
	ZIP CODE

### SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
480266	0050	B	3-1-79	A18	584.5

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE):  NGVD '29  Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE:  feet NGVD (or other FIRM datum—see Section B, Item 7).

### SECTION C BUILDING ELEVATION INFORMATION

- Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 5.
- (a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of 585.3 feet NGVD (or other FIRM datum—see Section B, Item 7).  
(b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of            feet NGVD (or other FIRM datum—see Section B, Item 7).  
(c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is 3.0 feet above  or below  (check one) the highest grade adjacent to the building.  
(d). FIRM Zone AO. The floor used as the reference level from the selected diagram is            feet above  or below  (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown
- Indicate the elevation datum system used in determining the above reference level elevations:  NGVD '29  Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
- Elevation reference mark used appears on FIRM:  Yes  No (See Instructions on Page 4)
- The reference level elevation is based on:  actual construction  construction drawings  
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
- The elevation of the lowest grade immediately adjacent to the building is: 3.0 feet NGVD (or other FIRM datum—see Section B, Item 7).

### SECTION D COMMUNITY INFORMATION

- If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is:            feet NGVD (or other FIRM datum—see Section B, Item 7).
- Date of the start of construction or substantial improvement

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevatic information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign th certification. In the case of Zones AD and A (without a FEMA or community issued BFE), a building official, a property owner, or owner's representative may also sign the certification.

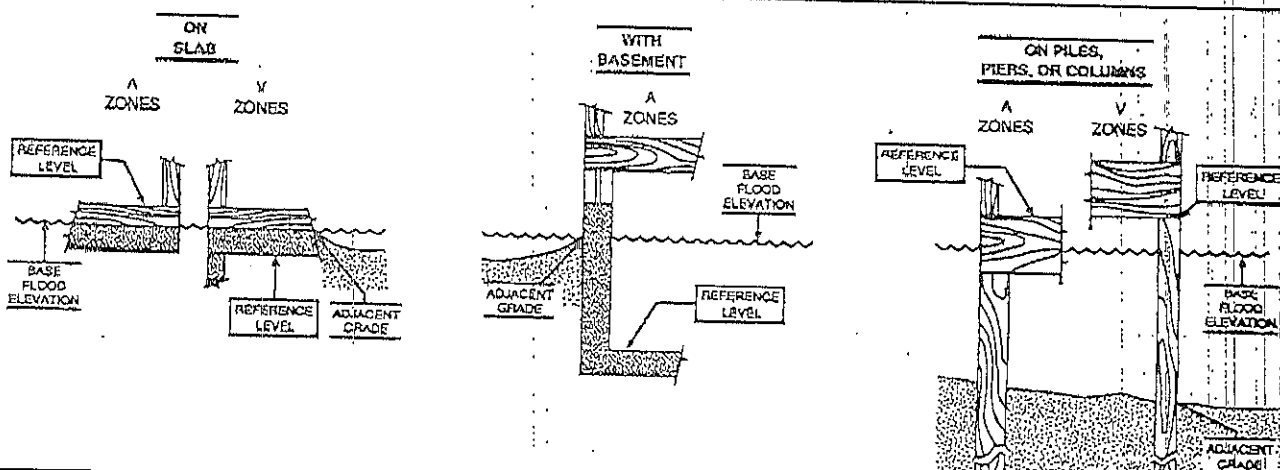
Reference level diagrams 6; 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wa enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) no included in the certification under Comments below. The diagram number, Section-C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME: Johnnie J Bohuslav LICENSE NUMBER (or Affix Seal): 22156  
 TITLE: Owner COMPANY NAME: J B Engineering  
 ADDRESS: 129 Maderas CITY: Seguin TX 78155 STATE: TX  
 SIGNATURE: [Signature] DATE: 3-29-02 PHONE: 560-1659

Copies should be made of this Certificate for: 1) community official, 2) Insurance agent/company, and 3) building owner.

COMMENTS: The elevation datum used is from Lake Dunlap elevation as furnished by GBRA on 3-29-02 of 575.3 above sea level



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones. Elevations for all A Zones should be measured at the top of the reference level floor. Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.